

1. PERMEABLE PAVING
2. REFUSE STORAGE
3. INDIVIDUAL LETTER BOXES
4. SECURE CYCLE STORAGE
5. INTERCOM
6. SECURITY LIGHTING
7. OBSCURED GLAZED
8. SOFT LANDSCAPING
9. DOUBLE GLAZED SOUND INSULATED WINDOWS
10. 1.1m OBSCURED GLASS BALUSTRADE
11. RESIN DECKING
12. 1.5m² AOV
13. LONDON STOCK YELLOW BRICK

14. 0.7m BRICK WALL/ PLANTER WITH 0.6m HEDGE
15. FIXED & OBSCURED GLAZED TO 1.7m HIGH FROM INTERNAL FLOOR LEVEL WITH TOP PANE FOR VENTILATION
16. SOLAR PANELS
17. ROOF LIGHTS
18. NEW MATURE TREE AT COUNCIL SPECIFICATION.
19. RECESSED DARK GREY ALUMINIUM DOWN PIPE
20. DARK GREY ZINC
21. DARK GREY ZINC GATE
22. 1.6m HIGH BRICK WALL WITH 0.4m SLATTED TIMBER TRELLIS

- Notes:
- 1- This drawing is not for construction;
 - 2- All Dimension are in millimeters;
 - 3- This drawing has been drawn to scale for the purposes of obtaining local authority approval. Dimensions are not to be scaled directly from drawings;
 - 4- All dimensions are to be checked on site and the Structural Engineer is to be inform of any discrepancies before construction commences;
 - 5- All structural elements to be agreed with local authority Building Control prior to commencement of works.
 - 6- All references to drawings refer to current revision of that drawing;
 - 7- The Copyright of this drawing belongs to Revive Renovations & Licensing.
 - 8- Attention is drawn to the provisions of the party wall act 1996. Legal boundaries should be determined by others.

FOR PLANNING ONLY



700+
Planning Approvals
In The
Borough Of
Wandsworth



400+
Planning Approvals
In All
Other SW
Boroughs



450+
Planning Approvals
In All Other
London
Boroughs



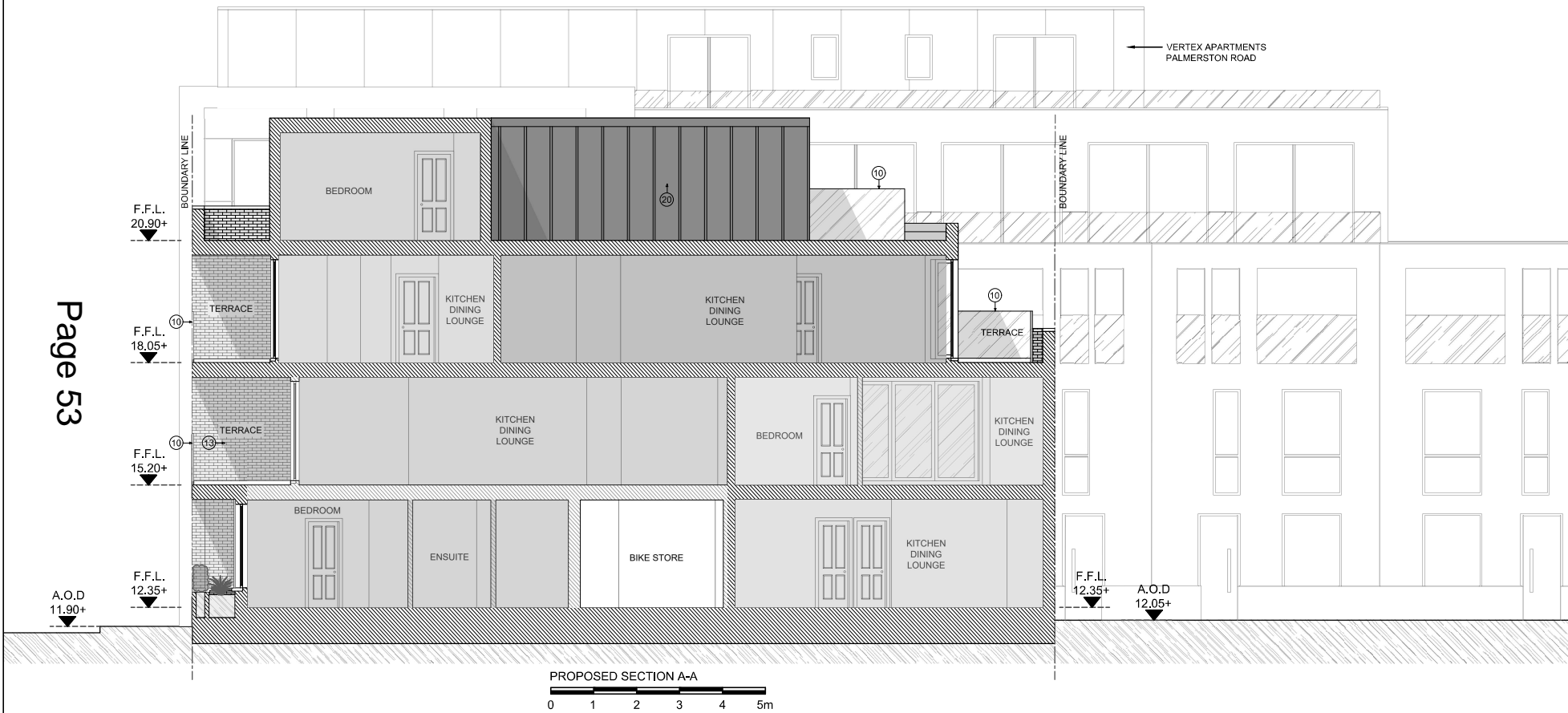
**Revive
Renovations**
Planning Consultancy
Planning Applications
Drawings & Appeals
revive-renovations.com
0208 914 7877
reception.revive@outlook.com

client
115 Kingston Road, SW19 1LT

project
FULL PLANNING APPLICATION
DEMOLITION OF EXISTING 2 STOREY PROPERTY AND
ERECTORION OF 3/4 STOREY PROPERTY. NEW
PROPERTY TO CONSIST OF 7 SELF-CONTAINED FLATS
(3 X 3 BED, 5 X 2 BED, 1 X 1 BED/1 PERSON) ALL WITH
PRIVATE OUTSIDE AMENITY SPACE AND
COVERED/SECURED CYCLE AND REFUSE STORAGE.

drawing title
PROPOSED SECTION A-A

date JULY 2022	scale 1:100@A3	dwtn D.M
drawing number 29	sheet no. 29 of 33	rev A



Page 53

← VERTEX APARTMENTS
PALMERSTON ROAD

- 1. PERMEABLE PAVING
- 2. REFUSE STORAGE
- 3. INDIVIDUAL LETTER BOXES
- 4. SECURE CYCLE STORAGE
- 5. INTERCOM
- 6. SECURITY LIGHTING
- 7. OBSCURED GLAZED
- 8. SOFT LANDSCAPING
- 9. DOUBLE GLAZED SOUND INSULATED WINDOWS
- 10. 1.1m OBSCURED GLASS BALUSTRADE
- 11. RESIN DECKING
- 12. 1.5m² AOV
- 13. LONDON STOCK YELLOW BRICK
- 14. 0.7m BRICK WALL/ PLANTER WITH 0.6m HEDGE
- 15. FIXED & OBSCURED GLAZED TO 1.7m HIGH FROM INTERNAL FLOOR LEVEL WITH TOP PANE FOR VENTILATION
- 16. SOLAR PANELS
- 17. ROOF LIGHTS
- 18. NEW MATURE TREE AT COUNCIL SPECIFICATION.
- 19. RECESSED DARK GREY ALUMINIUM DOWN PIPE
- 20. DARK GREY ZINC
- 21. DARK GREY ZINC GATE
- 22. 1.6m HIGH BRICK WALL WITH 0.4m SLATTED TIMBER TRELLIS

- Notes:
- 1- This drawing is not for construction;
 - 2- All Dimension are in millimeters;
 - 3- This drawing has been drawn to scale for the purposes of obtaining local authority approval. Dimensions are not to be scaled directly from drawings;
 - 4- All dimensions are to be checked on site and the Structural Engineer is to be inform of any discrepancies before construction commences;
 - 5- All structural elements to be agreed with local authority Building Control prior to commencement of works.
 - 6- All references to drawings refer to current revision of that drawing;
 - 7- The Copyright of this drawing belongs to Revive Renovations & Licensing.
 - 8- Attention is drawn to the provisions of the party wall act 1996. Legal boundaries should be determined by others.

FOR PLANNING ONLY



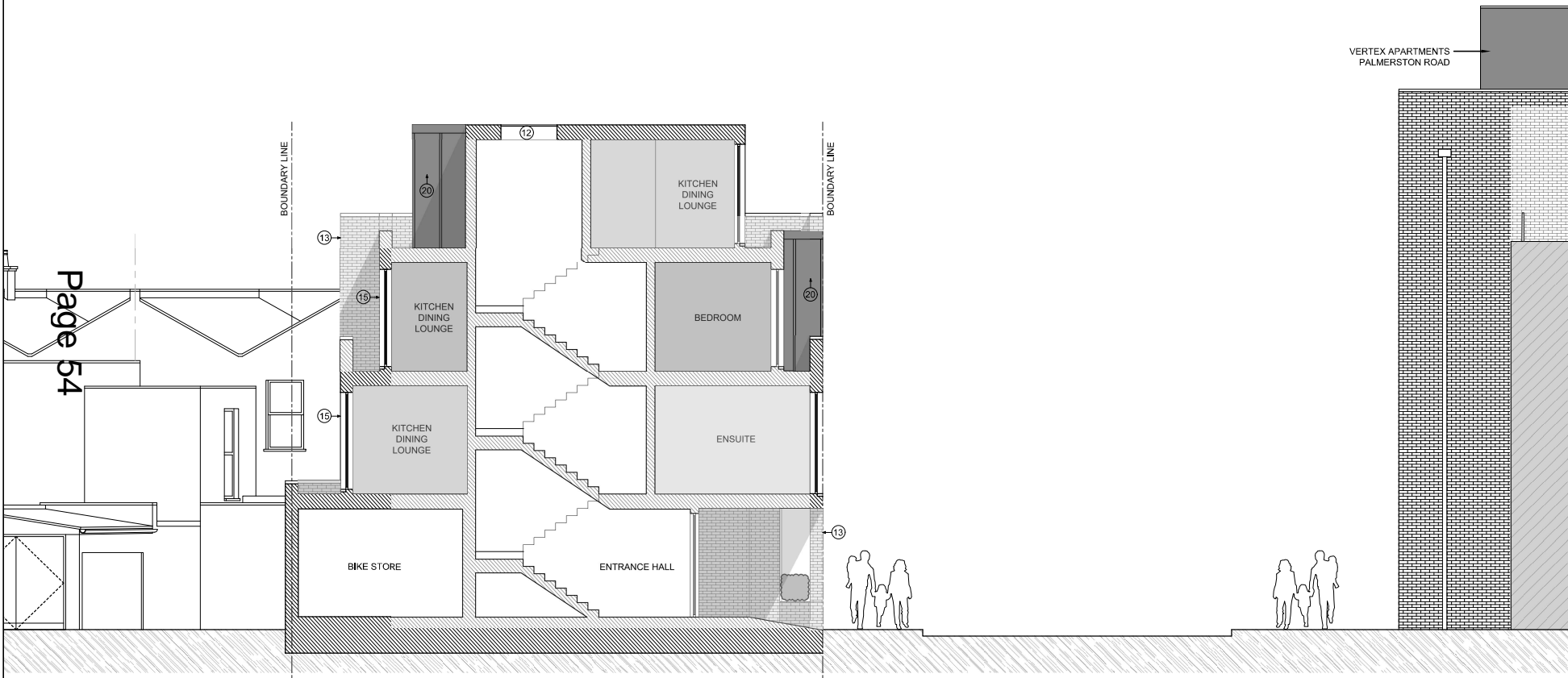
700+
Planning Approvals
In The
Borough Of
Wandsworth



400+
Planning Approvals
In All
Other SW
Boroughs



450+
Planning Approvals
In All Other
London
Boroughs



PROPOSED REAR ELEVATION
0 1 2 3 4 5m



Revive Renovations
Planning Consultancy
Planning Applications
Drawings & Appeals
revive-renovations.com
0208 914 7877
reception.revive@outlook.com

client
115 Kingston Road, SW19 1LT

project
FULL PLANNING APPLICATION
DEMOLITION OF EXISTING 2 STOREY PROPERTY AND ERECTION OF 3/4 STOREY PROPERTY. NEW PROPERTY TO CONSIST OF 7 SELF-CONTAINED FLATS (3 X 3 BED, 5 X 2 BED, 1 X 1 BED/1 PERSON) ALL WITH PRIVATE OUTSIDE AMENITY SPACE AND COVERED/SECURED CYCLE AND REFUSE STORAGE.

drawing title
PROPOSED SECTION B-B

date
JULY 2022

scale
1:10000A3

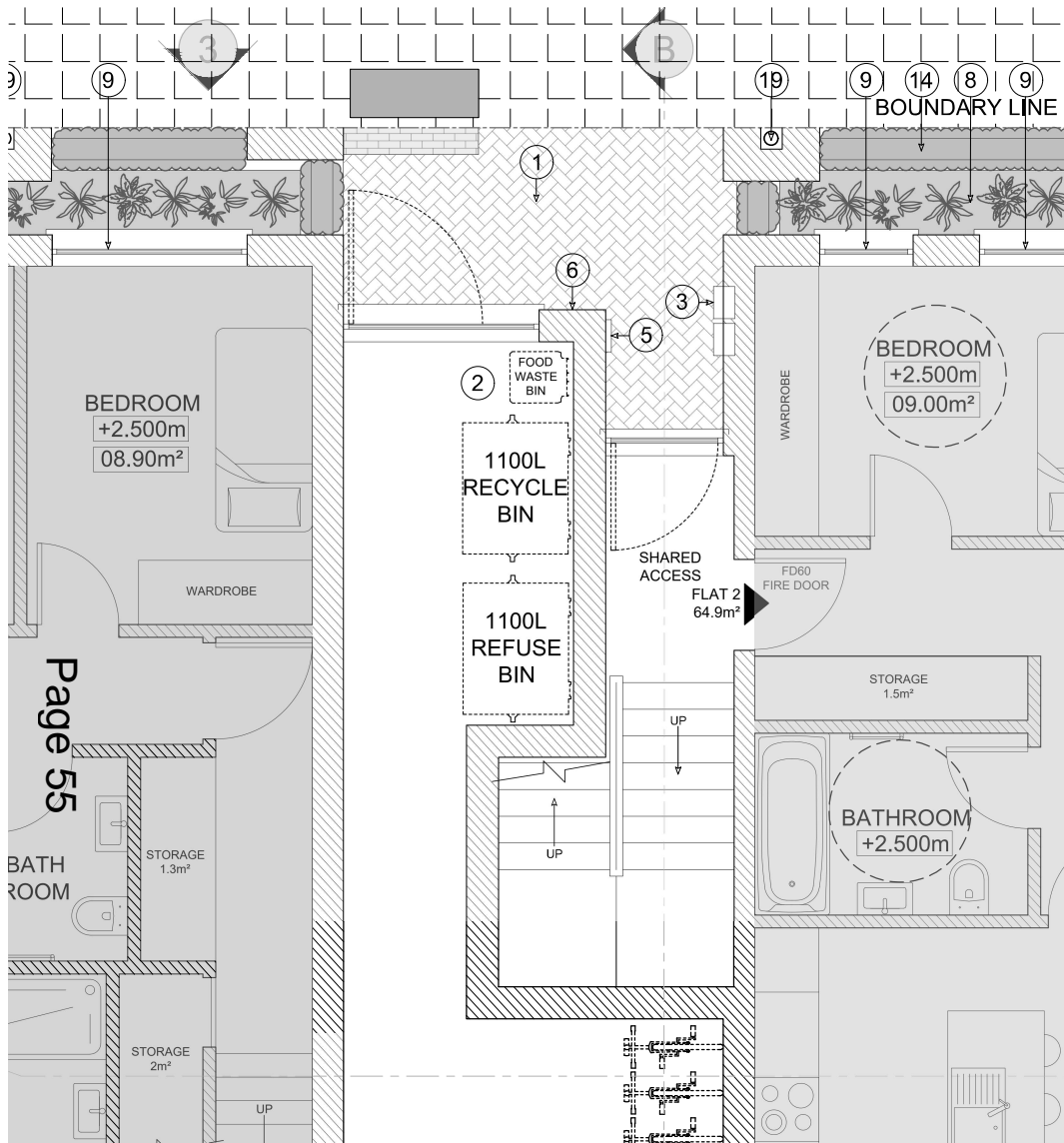
dwnt
Q.M

drawing number
30

sheet no.
30 of 33

rev
A

Page 54



1 COMMUNAL REFUSE STORAGE PLAN
SCALE 1 : 50

SPD Refuse and recyclables in developments Appendix B states that multi-unit developments must have sufficient space of no less than 120 litres per household for residual waste plus 120 litres per household for mixed recyclables must be provided.

7 flats:
 7 x 120 litres refuse = 840 litres + 260 litres additional storage = 1 x 1100 litre euro bin's
 7 x 120 litres recyclables = 840 litres + 260 litres additional storage = 1 x 1100 litre euro bin



7 LITRE INDOOR FOOD CADDY



FOOD WASTE METAL HOUSING



EXAMPLE 1100 LITRE REFUSE & RECYCLABLES STEEL EURO BIN FOR FALTS 2-8

- Notes:
- 1- This Drawing is not for construction;
 - 2- All Dimension are in millimeters;
 - 3- This drawing has been drawn to scale for the purposes of obtaining local authority approval. Dimensions are not to be scaled directly from drawings;
 - 4- All dimensions are to be checked on site and the Structural Engineer is to be informed of any discrepancies before construction commences;
 - 5- All structural elements to be agreed with local authority Building Control prior to commencement of works.
 - 6- All references to drawings refer to current revision of that drawing;
 - 7- The Copyright of this drawing belongs to Revive Renovations & Licensing.
 - 8- Attention is drawn to the provisions of the party wall act 1996. Legal boundaries should be determined by others.

FOR PLANNING ONLY




Revive Renovations
 Planning Consultancy
 Planning Applications
 Drawings & Appeals
 revive-renovations.com
 0208 914 7877
 reception.revive@outlook.com

date
115 Kingston Road, SW19 1LT

project
FULL PLANNING APPLICATION
 DEMOLITION OF EXISTING 2 STOREY PROPERTY AND
 ERECTION OF 3/4 STOREY PROPERTY. NEW
 PROPERTY TO CONSIST OF 7 SELF-CONTAINED FLATS
 (1 X 3 BED, 5 X 2 BED, 1 X 1 BED/1 PERSON) ALL WITH
 PRIVATE OUTSIDE AMENITY SPACE AND
 COVERED/SECURED CYCLE AND REFUSE STORAGE.

drawing title
PROPOSED REFUSE STORAGE PLAN

date
JULY 2022

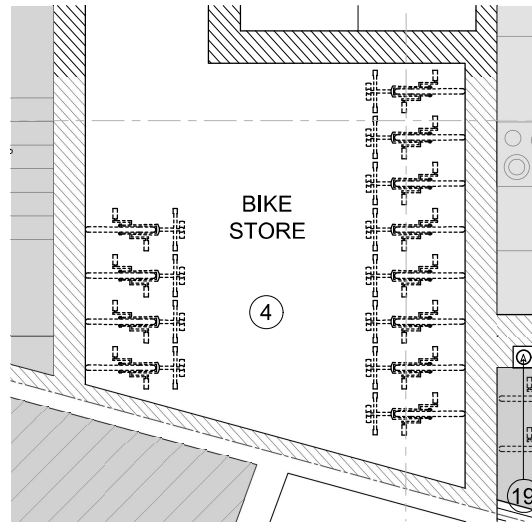
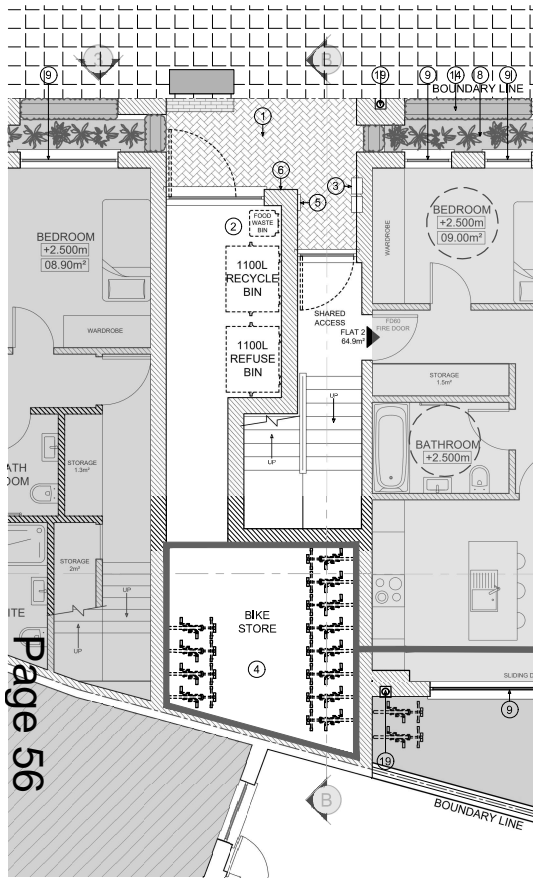
scale
1:10000A3

sheet no.
Q.M1

drawing number
31

sheet no.
31 of 33

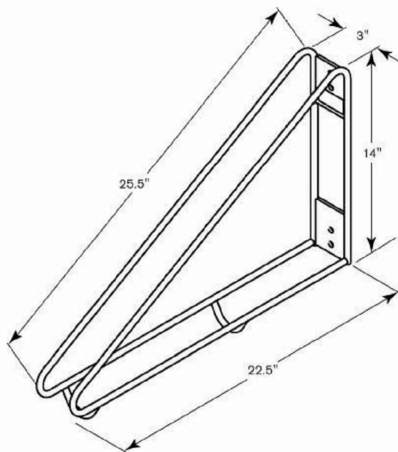
rev
A



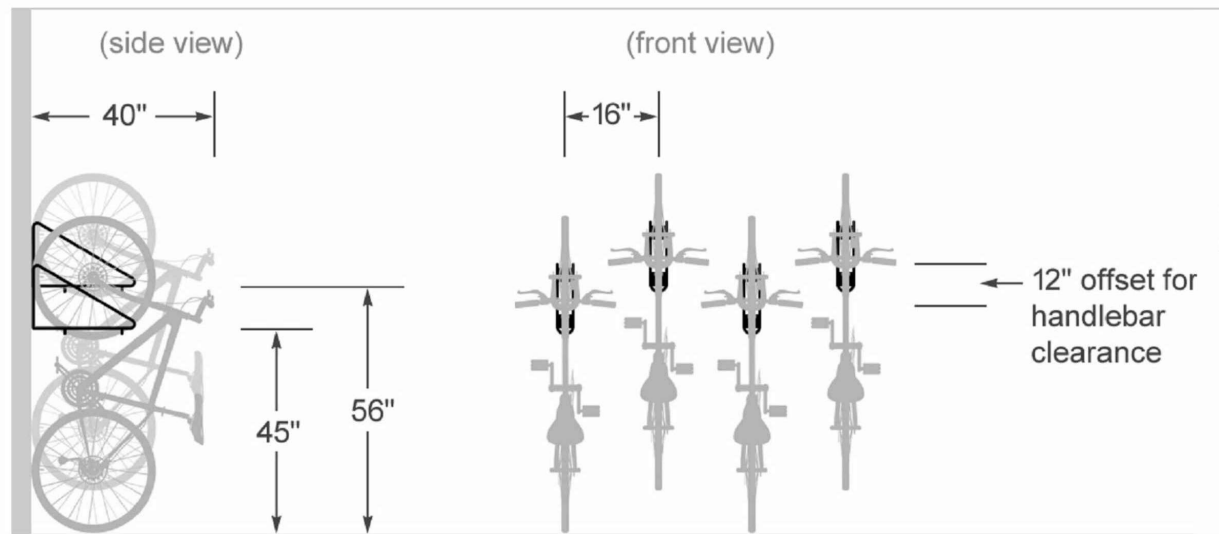
2 BIKE STORE PLAN SCALE 1 : 50

1 BIKE STORAGE

1 BIKE STORE PLAN SCALE 1 : 100



EXAMPLE WALL HUNG BRACKET



EXAMPLE WALL HUNG BRACKET HEIGHT & SPACING



EXAMPLE WALL HUNG BIKES

- Notes:
- 1- This drawing is not for construction;
 - 2- All Dimension are in millimeters;
 - 3- This drawing has been drawn to scale for the purposes of obtaining local authority approval. Dimensions are not to be scaled directly from drawings;
 - 4- All dimensions are to be checked on site and the Structural Engineer is to be inform of any discrepancies before construction commences;
 - 5- All structural elements to be agreed with local authority Building Control prior to commencement of works.
 - 6- All references to drawings refer to current revision of that drawing;
 - 7- The Copyright of this drawing belongs to Revive Renovations & Licensing.
 - 8- Attention is drawn to the provisions of the party wall act 1996. Legal boundaries should be determined by others.

FOR PLANNING ONLY



Revive Renovations
 Planning Consultancy
 Planning Applications
 Drawings & Appeals
revive-renovations.com
 0208 914 7877
reception.revive@outlook.com

client
115 Kingston Road, SW19 1LT

project
FULL PLANNING APPLICATION
 DEMOLITION OF EXISTING 2 STOREY PROPERTY AND
 ERECTION OF 3/4 STOREY PROPERTY. NEW
 PROPERTY TO CONSIST OF 7 SELF-CONTAINED FLATS
 (1 X 3 BED, 5 X 2 BED, 1 X 1 BED/1 PERSON) ALL WITH
 PRIVATE OUTSIDE AMENITY SPACE AND
 COVERED/SECURED CYCLE AND REFUSE STORAGE.

drawing title
PROPOSED BIKE STORAGE PLAN

date JULY 2022	scale 1:1000/3	sheet Q.M
drawing number 32	sheet no. 32 of 33	rev A



EXAMPLE BOUNDARY WALL PLANTER COMBINANTION



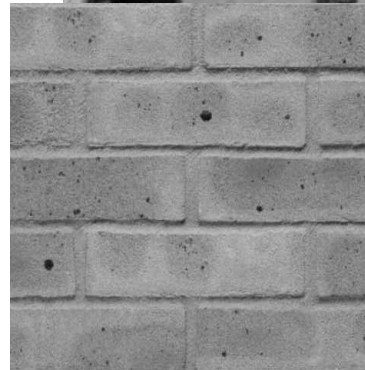
EXAMPLE FRAMELESS OBSCURED GLASS BALUSTRADE



EXAMPLE DARK GREY ZINC CLADDING & DARK GREY ALUMINIUM WINDOW



EXAMPLE WINDOW DETAIL, BRICK LINTEL DETAIL, RECESSED DOWN PIPE DETAIL & DARK GREY ZINC PANEL BETWEEN WINDOWS IN BRICK OPENING



EXAMPLE WIENERBERGER HURSTWOOD MULTI STOCK



EXAMPLE PERMEABLE PAVING



EXAMPLE COMPOSITE RESIN DECKING

Notes:
 1- This drawing is not for construction;
 2- All Dimension are in millimeters;
 3- This drawing has been drawn to scale for the purposes of obtaining local authority approval. Dimensions are not to be scaled directly from drawings;
 4- All dimensions are to be checked on site and the Structural Engineer is to be inform of any discrepancies before construction commences;
 5- All structural elements to be agreed with local authority Building Control prior to commencement of works.
 6- All references to drawings refer to current revision of that drawing;
 7- The Copyright of this drawing belongs to Revive Renovations & Licensing-
 8- Attention is drawn to the provisions of the party wall act 1996. Legal boundaries should be determined by others.

FOR PLANNING ONLY




Revive Renovations
 Planning Consultancy
 Planning Applications
 Drawings & Appeals
revive-renovations.com
0208 914 7877
reception.revive@outlook.com

client
 115 Kingston Road, SW19 1LT

project
FULL PLANNING APPLICATION
 DEMOLITION OF EXISTING 2 STOREY PROPERTY AND ERECTION OF 3/4 STOREY PROPERTY. NEW PROPERTY TO CONSIST OF 7 SELF-CONTAINED FLATS (3 X 3 BED, 5 X 2 BED, 1 X 1 BED/1 PERSON) ALL WITH PRIVATE OUTSIDE AMENITY SPACE AND COVERED/SECURED CYCLE AND REFUSE STORAGE.

drawing title
PROPOSED MATERIALS

date
 JULY 2022

scale
 1:1000000

sheet no.
 33 of 33

sheet no.
 33 of 33

rev
 A

drawing number
33

This page is intentionally left blank